

# INVESTOR PROSPECTUS WHEELING WV

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*The Blue Church*  
*1206 Byron Street*



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# WHEELING CONTEXT

1

The birth place of West Virginia and The First State Capitol.

Located on I-70, 55 miles southwest of Pittsburgh, 120 miles east of Columbus, Ohio, and 130 miles south of Cleveland, Ohio.

Wheeling is the largest city (population 27,052) in the Wheeling-Belemont County (Ohio) Metropolitan Statistical Area (population 138,948) that includes Ohio and Marshall Counties, WV, and Belmont County, OH.





From the region's largest trail system, to national schools of excellence, to a reorganized municipal government, the City of Wheeling offers a dynamic environment for future economic growth and development.

There are many features that are unique to this area and we are proud of them! Our businesses enjoy the business climate as well with our advanced, motivated work force. The work force also enjoys being active in our various professional organizations. The area boasts year-round entertainment, leisure, sports, music, festivals, dining, shopping, and much more.

## **Who We Are**

We are hardworking, dedicated people who enjoy an unrivaled quality of life. From our nationally ranked schools to award-winning hospitals, Wheeling is an exceptional place to raise a family. There are a plethora of year-round recreational activities including golf, boating, water sports, snow skiing, biking, hiking, tennis, skateboarding, swimming, and many more. Year-round entertainment is another amazing feature of the city including local, regional, and national concert series, festivals, pro sporting events, or try your luck with all of your favorite slots and table games. Wheeling is your place.

## **Where We're Going**

As we move progressively forward, we aspire to be the business, entertainment and cultural center of the Ohio Valley. City Council and partners Regional Economic Development Partnership, The Wheeling Area Convention and Visitor's Bureau, Wheeling National Heritage Area Corporation, Wheeling Heritage, The Chamber of Commerce, and others are diligently working to reinvent our downtown area. This is an exciting project with unprecedented development and growth potential.







# At a Glance

## 2018 TOP PROSPECTS SURVEY RESULTS

### Opportunities Ahead Eating and Drinking Establishments

Top prospects for expansion and recruitment based on the 2018 Downtown Wheeling Top Prospects Survey completed by more than 1,500 participants.

37%	27%	11%	9%	7%	4%
Restaurant	Ethnic Restaurant	Drinking Establishment	Bakery	Ice Cream & Sweets	Coffee Shop
Top Features:	Top Features:	Top Features:	Top Features:	Top Features:	Top Features:
Full-service	Thai cuisine	Outdoor seating	Donuts and pastries	Hand-dipped cones, etc.	Fresh coffees, teas, etc.
Dinner menu	Indian cuisine	Live entertainment	Fresh breads	Outdoor seating	Comfortable, "homey"
Outdoor dining	Outdoor service/seating	Pub-style menu	Cookies and brownies	Specialty desserts	Soups, sandwiches, etc.
Healthy option	Middle Eastern cuisine	Craft beers	Coffeehouse beverages	Frozen yogurt	Outdoor seating
Lunch menu	Mexican cuisine	Cocktails & mixed drinks	Cupcakes	Gelato	Live music

### Opportunities Ahead Retail Establishments

Top prospects for expansion and recruitment based on the 2018 Downtown Wheeling Top Prospects Survey completed by more than 1,500 participants.

25%	19%	9%	9%	8%	7%
Specialty Foods Market	Clothing & Accessories	Grocery Store	Outdoor Recreation	Arts, Crafts & Hobby	Kitchen/Home
Top Features:	Top Features:	Top Features:	Top Features:	Top Features:	Top Features:
Locally-sourced foods	Women's casual	Food/Grocery	Canoe/Kayak rentals	General crafts/supplies	Home furnishings/decor
Artisan Foods	Men's casual	Healthy eating	Kayaking classes	Hobby and craft tools	Made in Wheeling/WV
Organic foods	Women's dress/business	Deli & prepared foods	Bicycle rentals	Craft/Hobby classes	Vintage/Repurposed
Prepared foods	Athletic wear	Ethnic grocery/deli	Hiking apparel	Artist supplies	Gourmet kitchenware
Deli selections	New & used boutique	Beer and wine	Bicycling rides/events	Yarn, patterns & supplies	Demo kitchen



LEGEND

- Roads
- Interstate & Highway
- River & Creek
- Trail Systems
- Future Trails
- City Limits
- Incorporated Places
- County Boundary
- Park and Recreational Facilities



WHEELING ATTRACTIONS

- Commerical Recreation**
  1. Capitol Theatre
  2. Centre Market
  3. Towngate Theatre & Cinema
  4. Oglebay Park
  5. Oglebay Park Golf Club
  6. Oglebay Park Good Zoo
  7. Victoria Theater
  8. WesBanco Arena
  9. Wheeling Island Racetrack & Gaming Center
  10. Wheeling Country Club
- Cultural Recreation**
  1. Artworks Around Town
  2. B&O Building
  3. Challenger Learning Center
  4. Children's Museum of the Ohio Valley
  5. Eckhart House
  6. First State Capitol
  7. Kruger Street Toy & Train Museum
  8. Oglebay Institute Museums
  9. Smart Center
  10. Stifel Fine Arts Center
  11. Suspension Bridge
  12. West Virginia Independence Hall
  13. Wheeling Artisan Center
- Institutional Facilities**
  1. Wheeling Jesuit University
  2. Ohio County Public Library
  3. WV Northern Community College
  4. Wheeling Island Stadium

Note: Not intended as an exhaustive list of local attractions.

Map 6: Attractions and Public Facilities



## 2

## BUILDING ON MOMENTUM

ECONOMIC ANCHORS &  
RECENT / PLANNED DEVELOPMENT

## CAPITOL THEATRE

RENOVATION AND RE-OPENING  
**62 ANNUAL EVENTS**  
**95,000 ANNUAL ATTENDEES**

## WHEELING-PITT LOFTS

**110 UNITS**, GROUND FLOOR RETAIL  
**\$30 MILLION** REDEVELOPMENT  
12 STORIES  
COMPLETION IN 2022

## McLURE HOTEL

FULL RENOVATION OF HOTEL  
**173 ROOMS**, 8 STORIES  
PLANNED LOBBY-LEVEL BAR AND  
TOP FLOOR COCKTAIL LOUNGE

## HERITAGE PORT

WATERFRONT PARK WITH EVENT  
SPACE AND AMPHITHEATRE  
**300,000 ANNUAL VISITORS**

## WESBANCO ARENA

**7,600 SEAT** CIVIC CENTER  
HOME OF WHEELING NAILERS HOCKEY  
RENOVATIONS COMPLETED 2016

## FLATIRON BUILDING

HISTORIC RENOVATION  
**7 UNITS**, GROUND FLOOR RETAIL  
COMPLETED 2018

## ROBRECHT RIVERFRONT PARK

PLANNED TRANSFORMATION  
OF A 3-ACRE BROWNFIELD  
INTO A RIVERFRONT PARK  
AND TRAILHEAD

ORRICK,  
HERRINGTON, & SUTCLIFFE

REDEVELOPMENT OF 100 YR OLD  
INDUSTRIAL BUILDING INTO  
MODERN OFFICES  
**\$13 MILLION** DEVELOPMENT

## WILLIAMS LEA GROUP

**11,250 SF** OFFICE ADDITION TO  
HISTORIC STONE CENTER BLDG.

## THE HEALTH PLAN

HEALTH ORG. HEADQUARTERS  
**\$16 MILLION** DEVELOPMENT  
**350 EMPLOYEES**  
53,000 SF, 4 STORIES

## SCOTTISH RITE CATHEDRAL

FULL RENOVATION OF OLD  
SCOTTISH RITE CATHEDRAL  
INTO EVENT AND  
ENTERTAINMENT VENUE

THE BLUE  
CHURCH

1425 - 1437  
MARKET STREET

WV NORTHERN  
COMMUNITY COLLEGE

MAJOR RENOVATIONS TO  
GREENSPACE AMENITIES,  
SIGNAGE, AND NEW /  
IMPROVED PARKING AREAS

## BOURY LOFTS

**72 UNITS**  
**\$13 MILLION** DEVELOPMENT  
NMTC, FED & STATE HISTORIC  
COMPLETED 2017



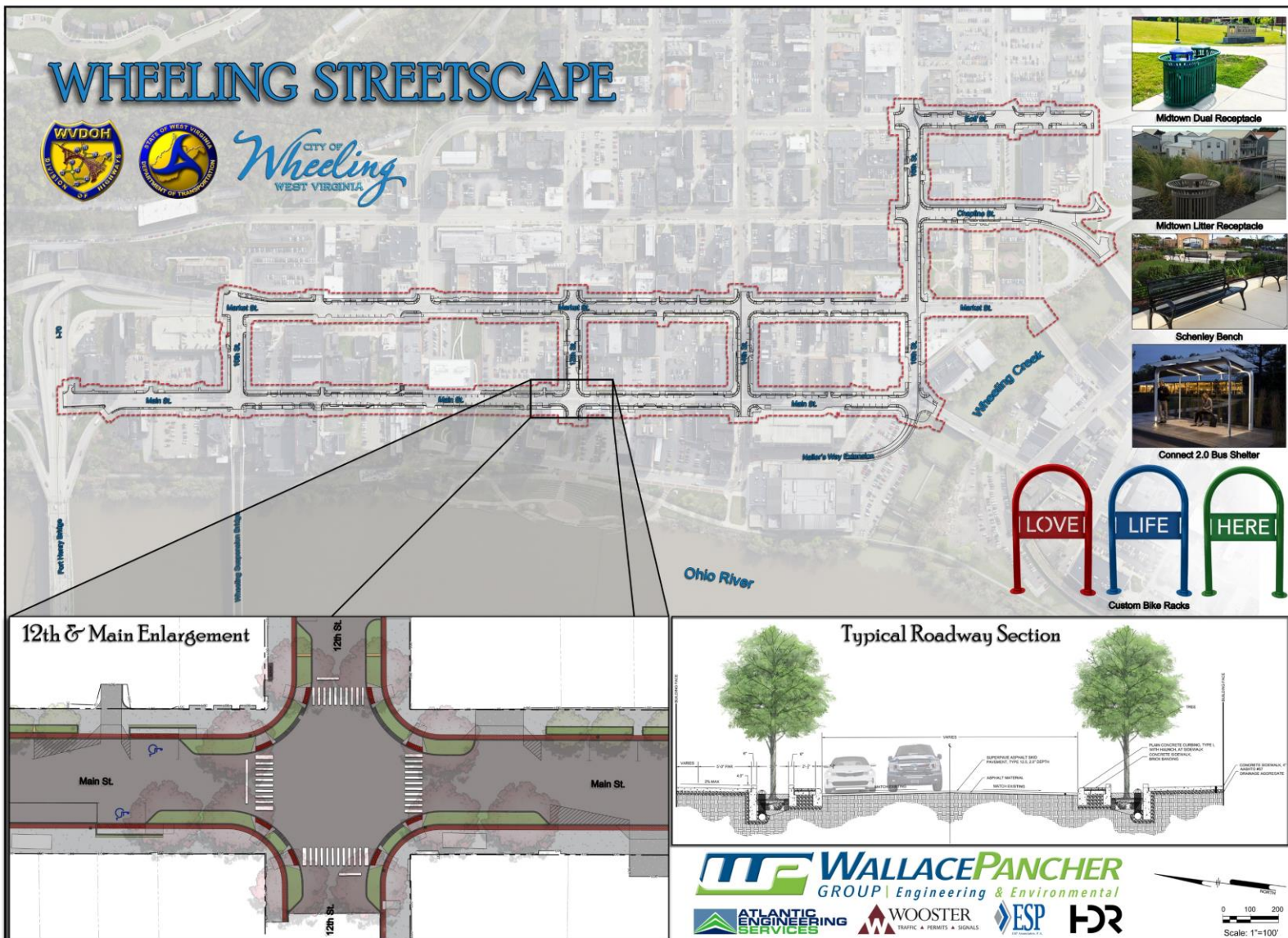
5 MINUTE  
WALK



# Downtown Streetscape Project

- ❖ UPGRADED INFRASTRUCTURE
- ❖ IMPROVED SAFETY
- ❖ ENHANCED STREETSCAPE EXPERIENCE

*This transformative project is a partnership between the WVDOH and the City of Wheeling that will upgrade West Virginia Route 2 on both Main Street and Market Street in the City of Wheeling. Improvements include repaving the streets, new sidewalks and curb ramps to be ADA accessible, as well as installing new traffic signals.*










## AN INTEGRATED REDEVELOPMENT PROJECT

## AN INTEGRATED REDEVELOPMENT PROJECT



	New Green Space
	Existing Green Space
	Rehabilitation Project
	New Infill Project
	Existing Lot
	Existing structures



in partnership with

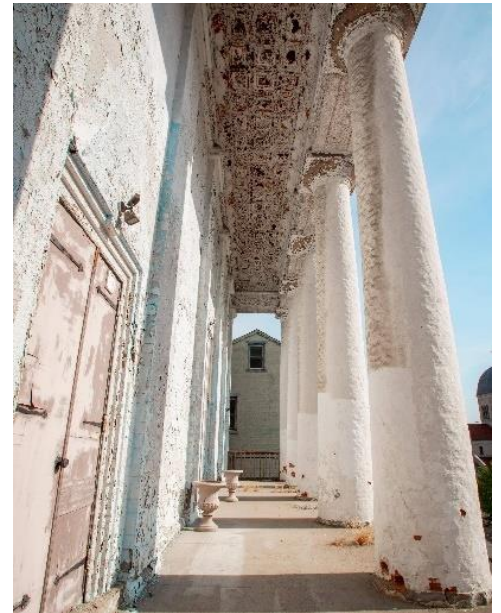
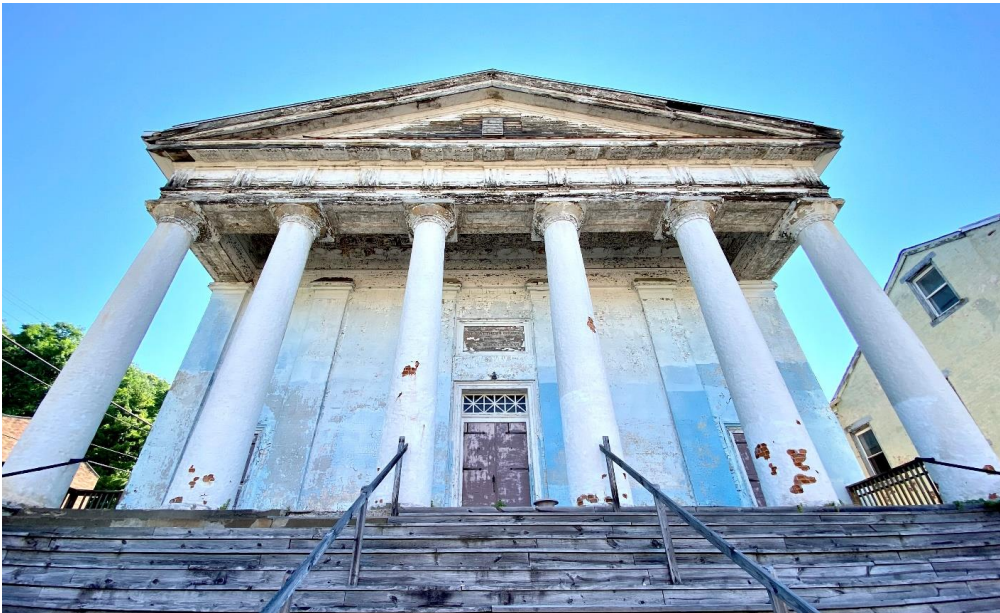
**WALLACE PANCHER**  
GROUP | Engineering & Environmental  
724.981.0155  
CLAIRSVILLE, OH



3

# THE BLUE CHURCH

1206 Byron Street









# A RENOWNED DESTINATION

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*Located in the heart of Wheeling, The Blue Church has remained a part of the City's identity for over 180 years. This historic and architecturally striking building offers the optimal space for a creative redevelopment project. The location benefits from its accessibility to a variety of attractions, amenities, and residential developments. The subject property provides an opportunity to establish a destination which supports surrounding economic anchors, benefits from prominent historic architecture, and builds upon the development momentum of downtown Wheeling.*



# **BUILDING CONDITIONS REPORT**

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**Please note, Wheeling Heritage has since completed a roof replacement including deck/rafter repair and insulation.**



# **Wheeling National Heritage Area Corporation**

## **Building Condition Report**

**Church of God and Saints of Christ  
1206 Byron St  
Wheeling, WV**



**October 31, 2013**

SCHAMU MACHOWSKI GRECO ARCHITECTS  
14th & Chapline Street, Suite 505, Wheeling, WV 26003 t 304 233 0048 [www.smgarch.com](http://www.smgarch.com)





## **INTRODUCTION**

Schamu Machowski Greco Architects was commissioned by WHNAC to perform an interior and exterior building condition assessment the Church of God and Saints of Christ, 1206 Byron St.. The report includes an assessment of interior and exterior conditions for the purpose of potentially restoring the exterior façade, roof and adaptively reusing the interior. To accomplish this report the buildings were field measured and transposed into computer generated drawings. Several field visits were performed to document and assess the conditions. The floor plans, elevations, building section and photographs are included in the report to augment the description that follows.

## **GENERAL CONDITIONS COMMENT**

The Church, built in 1837 and currently in operation, has a lower level fellowship hall; the narthex, nave, and ambo are on the main level; a “U-shaped” balcony a level above and surrounding the nave. The lower level is partial basement, partial walkout and is a level slab on grade. The narthex, nave and balcony are wood framed and “raked”. The ambo has several tiers and serves as lectern and choir space. The balcony has access to the attic. Within the attic heavy timber trusses are evenly spaced, support the roof and via tie-rods the balcony below. There are timber framing remnants of a removed steeple lying in the attic. The west façade of the Church is composed of a portico and colonnade supported pediment that is accessed by terraced wood stairs (that cover the original stone stairs) and a wood ramp to the north. The facades are composed of chinked stone foundation blocks, stucco veneered brick walls and a stucco clad veneer and wood entablature beneath the eaves. The narthex, nave and balcony windows consist of stained glass in wood frames that are covered with exterior storm windows. The narthex doors (non-original) are wood veneer set in wood frames. An approximate area itemization is as follows:

Fellowship Hall 4,560 SF  
Narthex/Sanctuary 4215 SF  
Balcony 2295 SF  
Attic 4560 SF

The Church is in need of extensive restoration on the exterior but has been relatively well maintained on the interior as it remains an active place of worship. This report is structured from high priority to less depending on what requires more immediate attention. The higher prioritization is based on structural, thermal and weather proof integrity. In addition, higher prioritization is given to building code compliance where it affects life safety.



Even though this is an occupied place, a general statement about the building utilities (heating, ventilation, air conditioning (HVAC), plumbing, electrical and fire protection) is that they are antiquated and/or are non-code compliant. The systems complete replacement should be considered. However, there may be a possibility to keep components of the existing systems in place (with the addition of precautionary upgrades) based on discussion/approval with building code officials.

This report does not include hazardous material testing, evaluation or recommendations for abatement. This is recommended and understood that this aspect of the building evaluation will be facilitated by WHNAC with qualified hazardous material evaluation professionals.

### **Priority Number 1**

The most prominent deficient condition of the Church is the roof and adjacent materials. The roofing, flashings etc. are in need of replacement. The eaves are deteriorated and leave the roof edge condition, attic and bearing walls open to the elements. This is more severe on the south side where many components are missing and much of the eave is missing. Though many of the components are in place on the north and west sides the eaves need repaired and stabilized. The open eaves allow the weather to permeate the masonry bearing walls which then adversely affects the exterior painted stucco veneer and interior painted plaster. The downspouts (that travel through the eave and drain concealed gutters) are in poor condition and contribute to similar adverse affects. The wood framed and sided pediment above the portico (visible from the attic) is open to the elements allowing weather to adversely affect the tin ceiling of the portico.

The entablature beneath the eave is primarily stucco over brick but transitions to wood where the portico begins. The entablature beneath the eaves is mostly intact but is showing signs of wear and in a small width the stucco has fallen from the underlying brick. Though the entablature is in much better condition compared to the eave, it makes sense to include this with the roof/eave restoration due to its proximity to the eave. There is a break point at the bottom of the entablature that can act as a demarcation for phased restoration if this becomes an issue. Along with the entablature, the pediment within the portico is in need of restoration. There is patched wood siding over wood studs that from the attic is open in various points to the elements. The tin ceiling of the portico is rusting and in need of repair. Due to the proximity and connection to the roof construction this work should be done within this scope of work.

The windows and doors (described above) are given a higher priority as they are part of the Church's thermal barrier. The wood front doors are not original to the Church, are delaminating and the hardware is difficult to operate. One of the doors is actually sealed shut and is the exterior wall of the narthex toilet room. The renovation of the doors are not only necessary to improve access but in a very real sense create a statement of "pride of place".

The double hung operable wood sash stained glass is in generally fair condition but several sections have been damaged by removal of inscribed dedication pieces of glass. The roping that makes the windows operate is not in place. Many of the storm panel glass are broken and do not appear to be working.

Along the north side of the Church there is a stone wall that retains the adjacent sloping lawn, sidewalk, and street. The wall is set back approx. 5 ft. from the north façade thus creating a light well for the fellowship hall windows. The wall's stones have failed and the light well is filled with debris and overgrowth of plants and weeds. This presents an unsafe pedestrian condition and a collecting point for precipitation.

There exists a wood HC ramp that allows access to the portico. Once on the portico there are steps to the two remaining entry doors. There needs to be improvements to create an accessible route as this current path is ADA deficient.

Moving to the interior, There are several areas where the plaster is damaged (approx. 10% of walls and approx. 15% of plaster ornamentation). There is an inverted V-shape crack over the ambo. Inspection of the attic shows that the brick substrate is not cracked so this is a surface crack caused by deflection of the nearest roof truss. The loose/damaged plaster should be stabilized to prevent further deterioration. *(note: this work should follow exterior waterproofing).*

The HVAC and electrical systems (the utilities) are functioning and are not necessarily unsafe. However, it would be prudent to consider modernizing the systems prior to other interior work. The utilities generally are behind walls, ceilings, etc. and should preempt lesser prioritized interior improvements. Also, this work will be necessary for code compliance.

### **Priority Number 2**

The facades of the Church consist of painted chinked sandstone foundation blocks up to the main level, transitioning to painted stucco veneer over brick masonry and, as stated above, capped by the entablature below the eave. The foundation is in generally fair to good condition. There are areas that require repointing and several stones have eroded thus needing patch and preservative coatings. The stucco over the brick veneer is missing or soft and brittle in spots (approx. 15% of the façade). This along with the roof condition has affected the interior painted plaster finishes (more evident on the south side interior walls). The stucco has been primed and painted and thus added some protection. The paint is peeling on the majority of the façade. There will be options to consider as it appears that original photos reveal that the stucco may not have been painted. *(the painting can help to further protect the stucco).* It should be noted that the brick that has been exposed appears to be in good condition (including the mortar joints).



The front portico and steps should be considered in this priority. It is difficult to determine the condition of the stone under the pressure treated wood stair cover but it is assumed that the stone is in bad condition. The wood stairs (press. trtd. 2x12s with a 2x filler) are “cupping” (due to lack of “kerfing”) and the handrails are non-code compliant. In this priority repairs to the wood stair and added rails could be a short term solution to improve the stairs. The concrete slab at the top of the stairs is worn and there is evidence of repairs that were made. The concrete is cracking and the concrete at the door thresholds is crumbling. The proper repairs to this slab is included in this priority to prevent further damage and to protect the basement area under the portico that hold existing toilet rooms.

Flanking the front stairs are two “wing” walls that contain the original stairs. The southerly wall is listing and needs stabilized. Both the north and south walls have eroded stone components that need stabilized and/or replaced.

### **Priority Number 3**

The third priority is to restore/renovate the interior. This work will replace antiquated finishes, improve building systems and to make the building a fully restored project. This includes replacement/restoration of floor finishes, replacement of wall paneling and suspended ceilings. Any architectural ornamentation will be replicated and worked into it’s context. Improvements to toilet rooms (aesthetically and to meet ADA compliance) and the kitchen will be included in this scope of work.

The interior improvements will depend on the intended use. For the purpose of this report it is planned that the Church will be a place of assembly that will host cultural events.

### **Other potential restoration phases**

There are several other parts of the Church that can be considered in the restoration. They have not been included in the cost estimates to follow. The other parts are as follows:

- The original photos indicate that the Church had an elaborate steeple/bell tower
- The removal of the wood stairs that cover the assumed stone stairs
- The original photos indicate that the Church’s portico columns had fluted stucco

**PRELIMINARY COST ESTIMATE AND PRIORITIZATION**

***Priority Number 1: Roof, eaves, entablature, windows/doors, plaster repair, utility infrastructure***

Demolition/temporary protection	\$ 20,000.00	
Roof replacement (incl. deck/rafter repair, insulation)	\$ 59,600.00	
Eave/entablature repair (incl. pediment/ceiling repair)	\$ 75,400.00	
Windows and door restoration	\$ 69,500.00	
Retaining wall stabilization	\$ 35,000.00	
ADA accessible route improvements	\$ 10,000.00	
Plaster stabilization	\$ 7,500.00	
HVAC infrastructure	\$ 132,000.00	
Electrical infrastructure	\$ 88,000.00	
<b>Subtotal</b>		<b>\$ 497,000.00</b>
General Conditions (6.5%)	\$ 32,300.00	
<b>Subtotal</b>		<b>\$ 529,300.00</b>
Overhead and Profit (10%)	\$ 52,900.00	
<b>Subtotal</b>		<b>\$ 582,200.00</b>
Bond (2.5%)	\$ 14,600.00	
<b>Subtotal</b>		<b>\$ 596,800.00</b>
Architects/Engineers fees (10%)	\$ 59,700.00	
Contingency (15%)	\$ 89,500.00	
<b>Priority Number 1 Total</b>		<b>\$ 746,000.00</b>



*Priority number 2: Façade and portico restoration,*

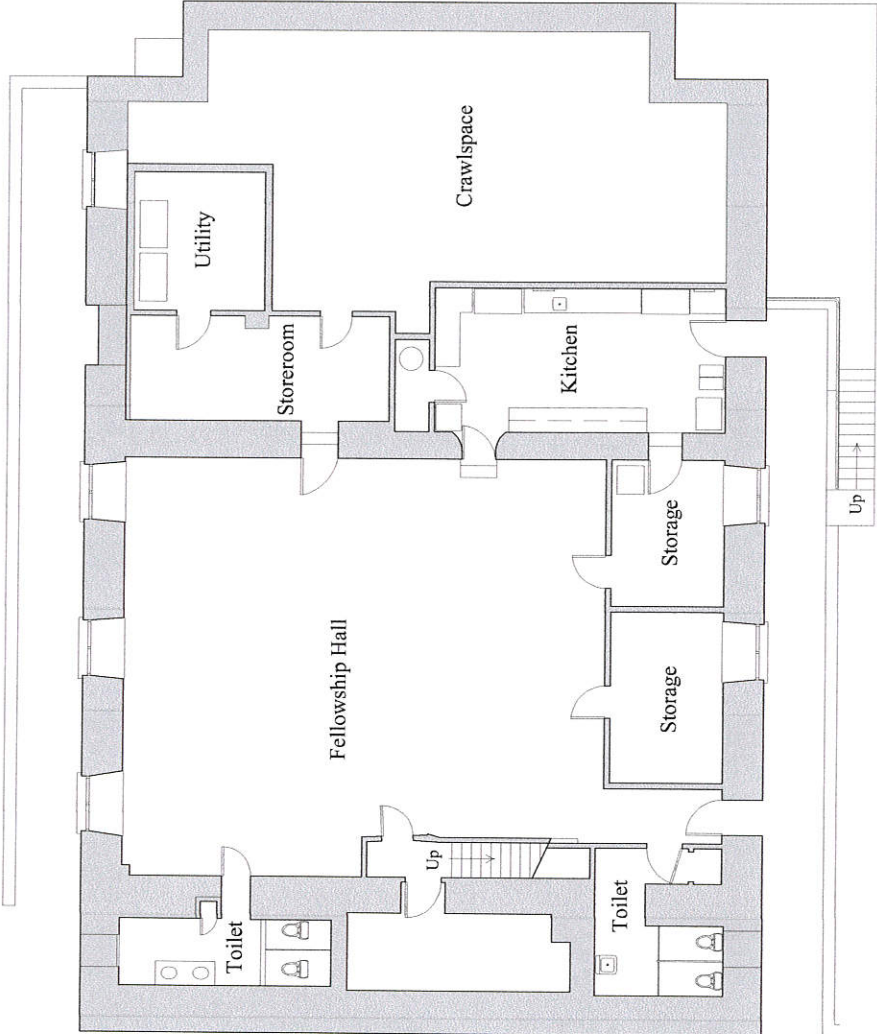
Demolition/temporary protection	\$ 35,000.00	
Foundation restoration	\$ 37,500.00	
Façade restoration (includes columns)	\$ 150,100.00	
Wood stair repair (incl. wing wall repair)	\$ 45,000.00	
Wing wall repair	\$ 35,000.00	
Front porch replacement	\$ 17,000.00	
<b>Subtotal</b>		<b>\$ 319,600.00</b>
General Conditions (6.5%)	\$ 20,800.00	
<b>Subtotal</b>		<b>\$ 340,400.00</b>
Overhead and Profit (10%)	\$ 34,000.00	
<b>Subtotal</b>		<b>\$ 374,400.00</b>
Bond (2.5%)	\$ 9,400.00	
<b>Subtotal</b>		<b>\$ 383,800.00</b>
Architects/Engineers fees (10%)	\$ 38,400.00	
Contingency (15%)	\$ 57,600.00	
<b>Priority Number 2 Total</b>		<b>\$ 479,800.00</b>

***Priority number 3: Interior restoration/renovation***

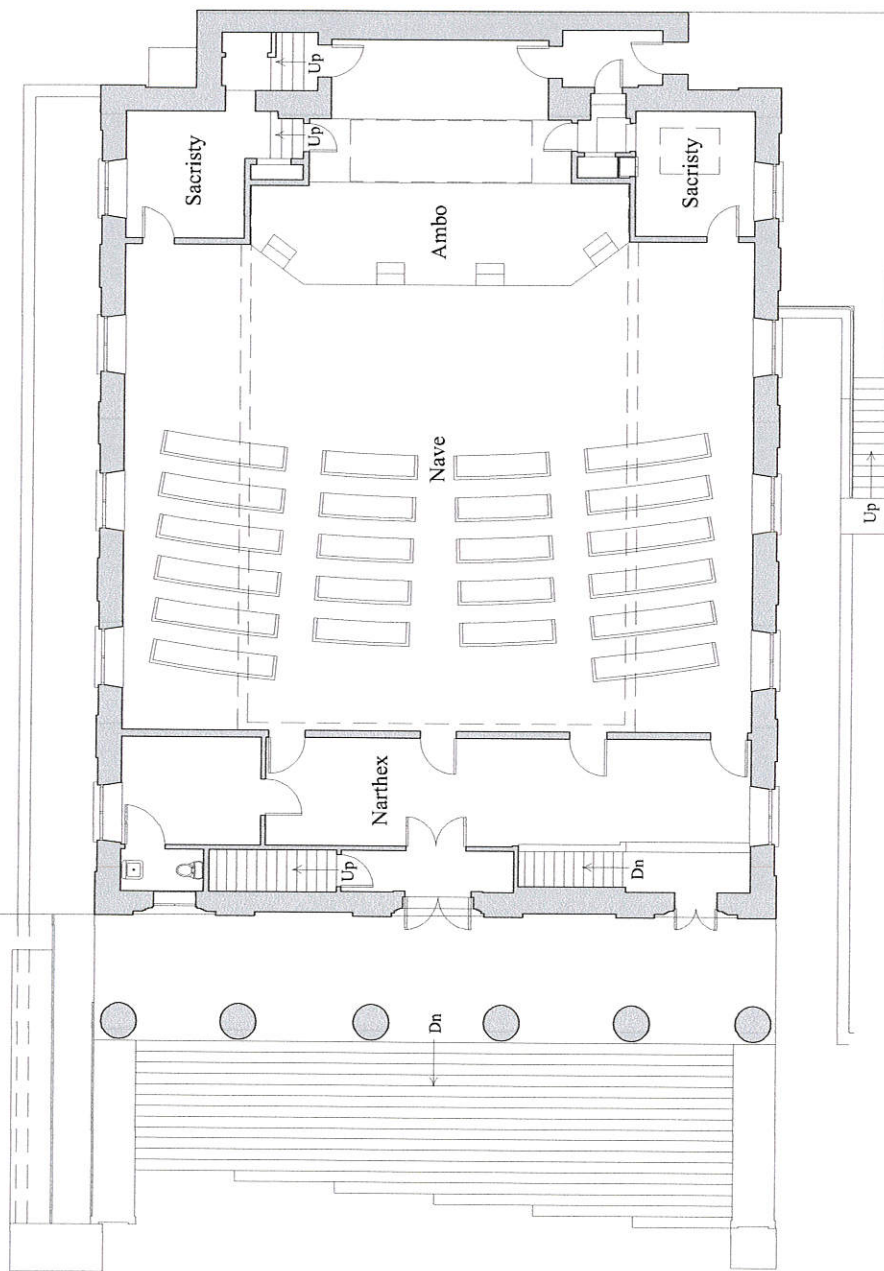
Demolition/temporary protection	\$ 45,000.00	
Foundation restoration	\$ 59,600.00	
Fellowship hall	\$ 190,000.00	
Lower level kitchen	\$ 50,000.00	
Lower level toilet room (incl. ADA modifications)	\$ 30,000.00	
Narthex	\$ 55,600.00	
Nave/ambo	\$ 173,600.00	
Balcony	\$ 57,300.00	
HVAC trim out/finish	\$ 66,000.00	
Electrical trim out/finish	\$ 75,000.00	
<b>Subtotal</b>		<b>\$ 802,100.00</b>
General Conditions (6.5%)	\$ 52,100.00	
<b>Subtotal</b>		<b>\$ 854,200.00</b>
Overhead and Profit (10%)	\$ 85,400.00	
<b>Subtotal</b>		<b>\$ 939,600.00</b>
Bond (2.5%)	\$ 23,500.00	
<b>Subtotal</b>		<b>\$ 963,100.00</b>
Architects/Engineers fees (8%)	\$ 77,000.00	
Contingency (10%)	\$ 96,300.00	
<b>Priority Number 3 Total</b>		<b>\$1,136,400.00</b>
Furniture/Fixtures/Equipment Allowance	\$ 75,000.00	
<b>Project total (incl. contingency, FF&amp;E and fees)</b>		<b>\$2,437,200.00</b>



BASEMENT  
SCALE: 1/16"=1'-0"



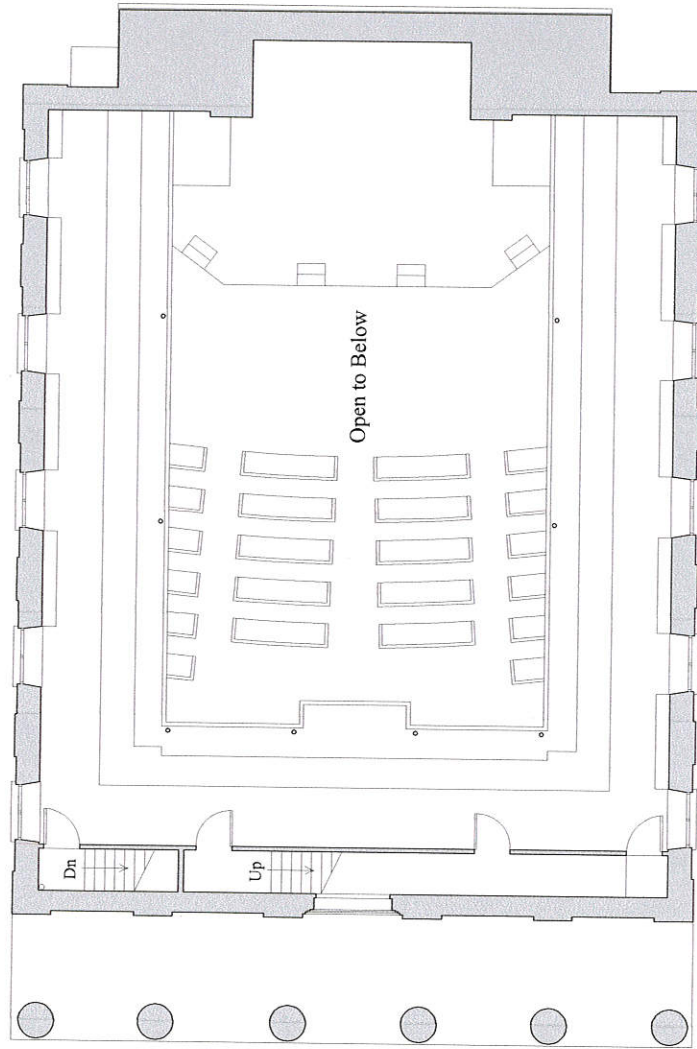
Area: 4,560 Sq.Ft.



Area: 4,215 Sq.Ft.

FIRST LEVEL  
SCALE: 1/16"=1'-0"

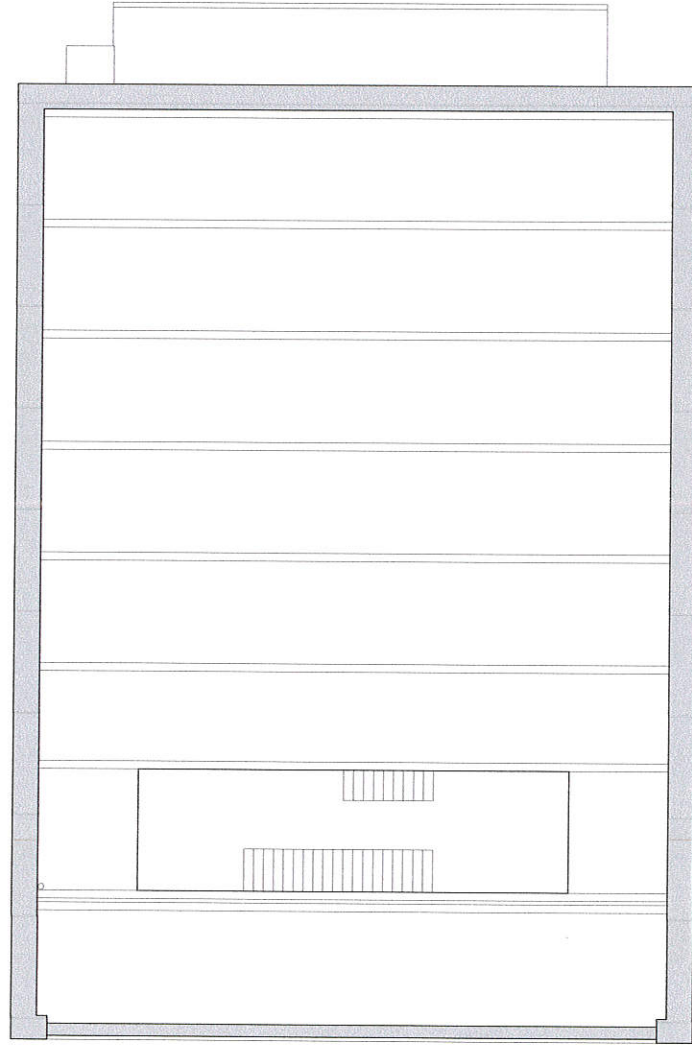




Area: 2,295 Sq.Ft.

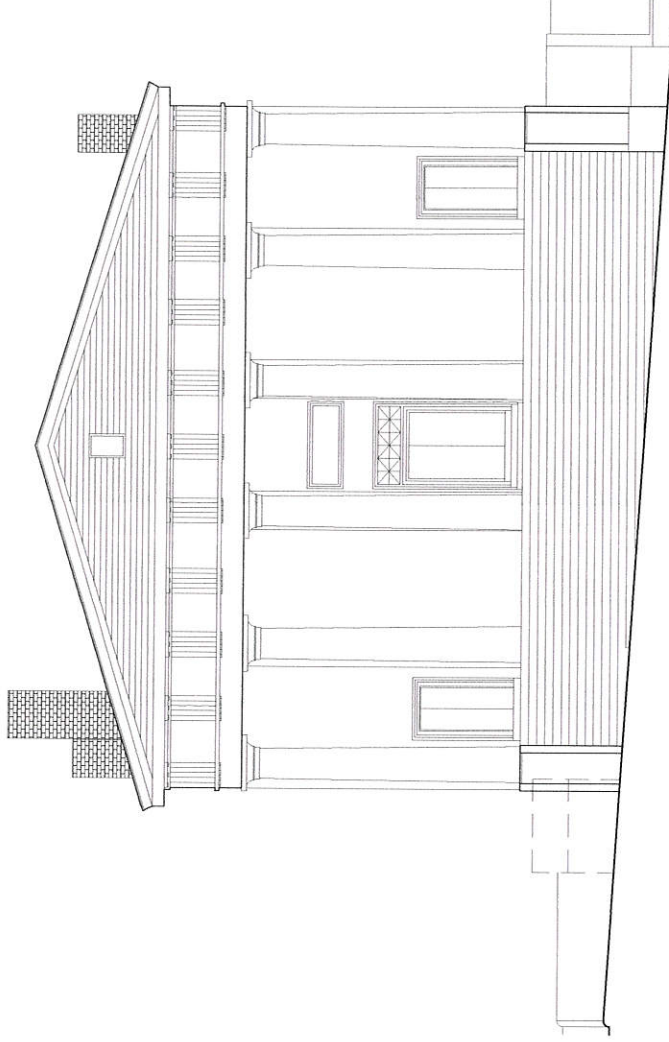
BALCONY  
SCALE: 1/16"=1'-0"

ATTIC  
SCALE: 1/16"=1'-0"

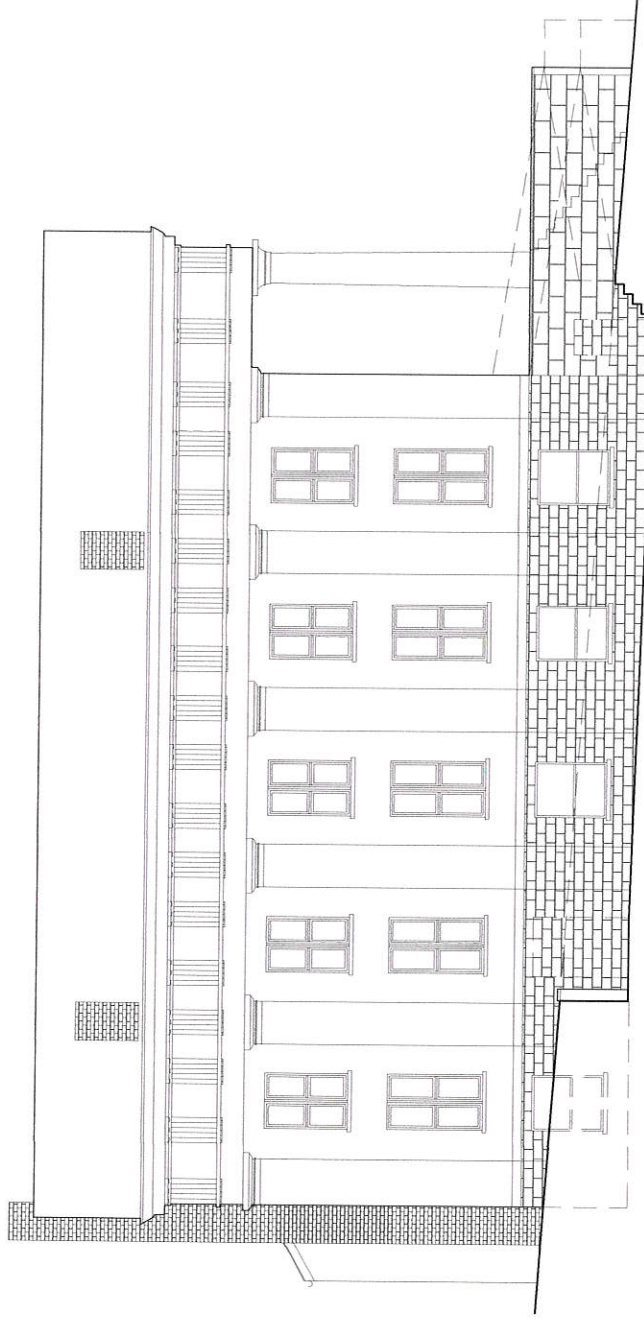


Area: 4,560 Sq.Ft.





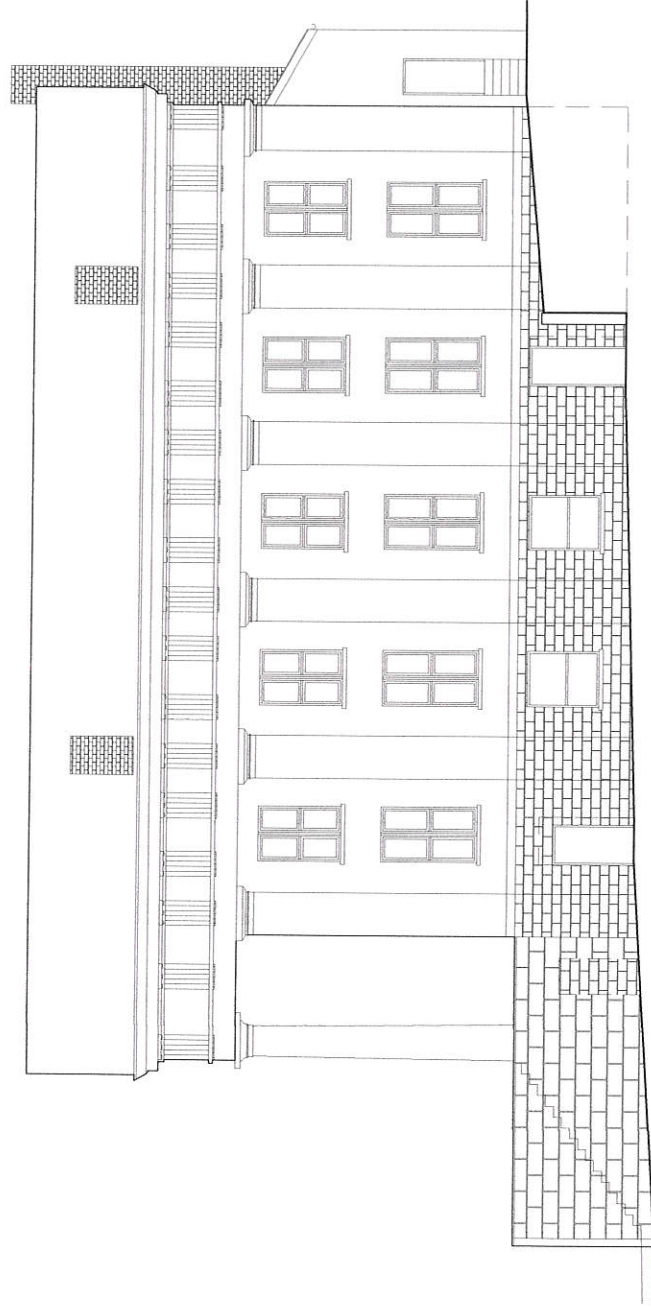
WEST ELEVATION  
SCALE: 1/16"=1'-0"



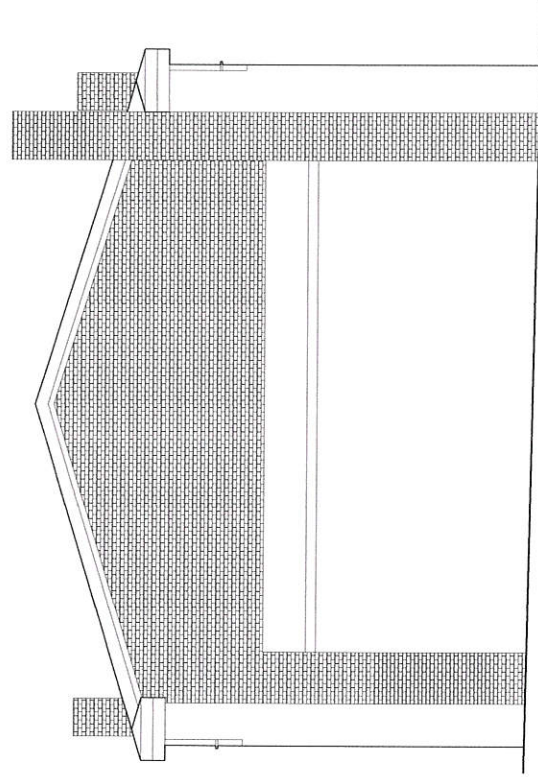
NORTH ELEVATION  
SCALE: 1/16"=1'-0"



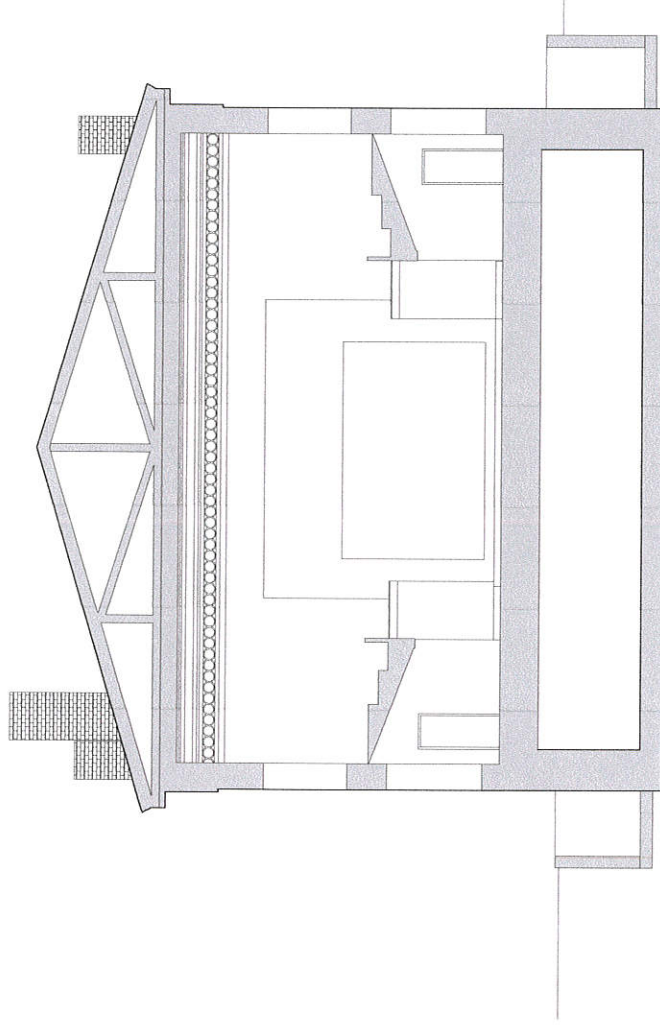
SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



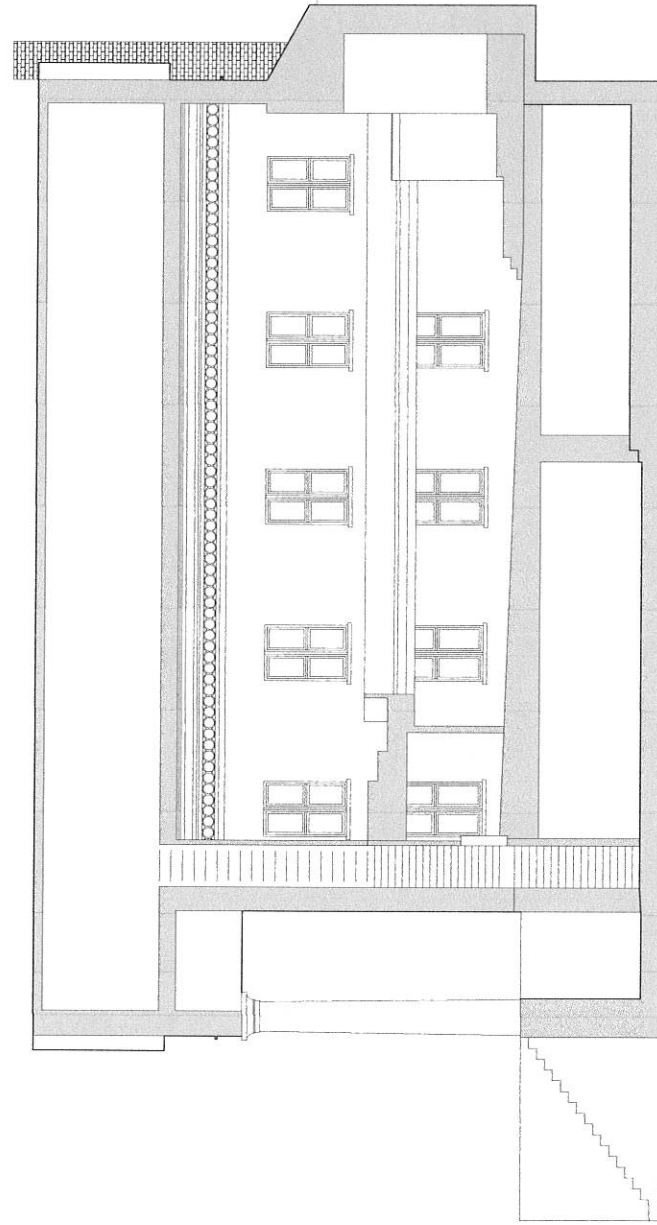
EAST ELEVATION  
SCALE: 1/16"=1'-0"







BUILDING SECTION LOOKING EAST  
SCALE: 1/16"=1'-0"

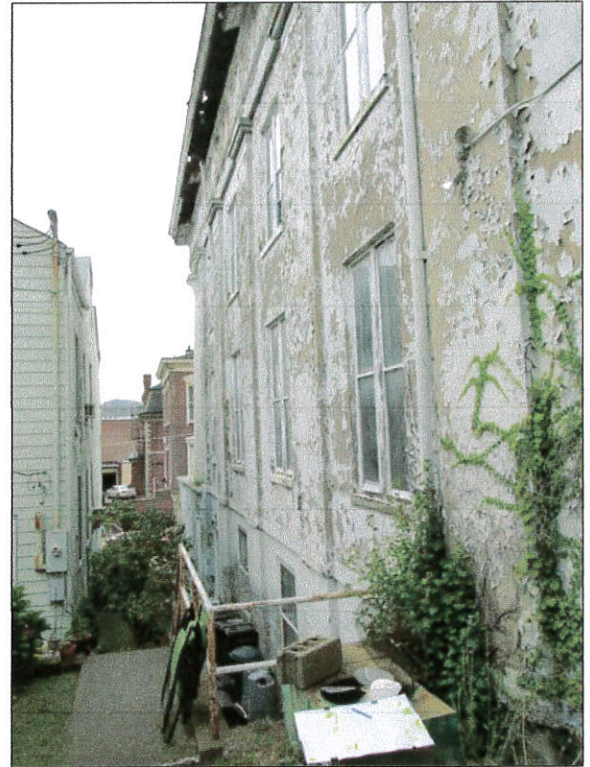


BUILDING SECTION LOOKING NORTH  
SCALE: 1/16"=1'-0"





West Elevation



South Elevation



North Elevation

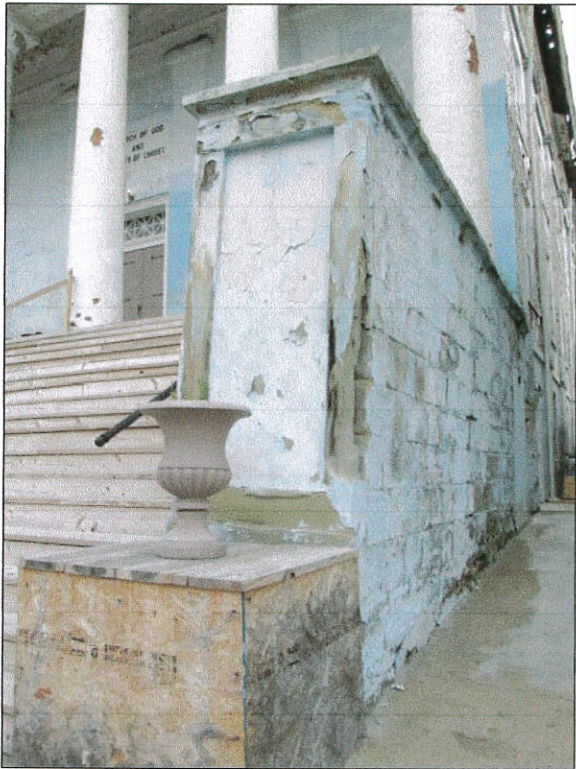


East Elevation





South Side Eave/Missing Column Flutes



Stair Wing Wall

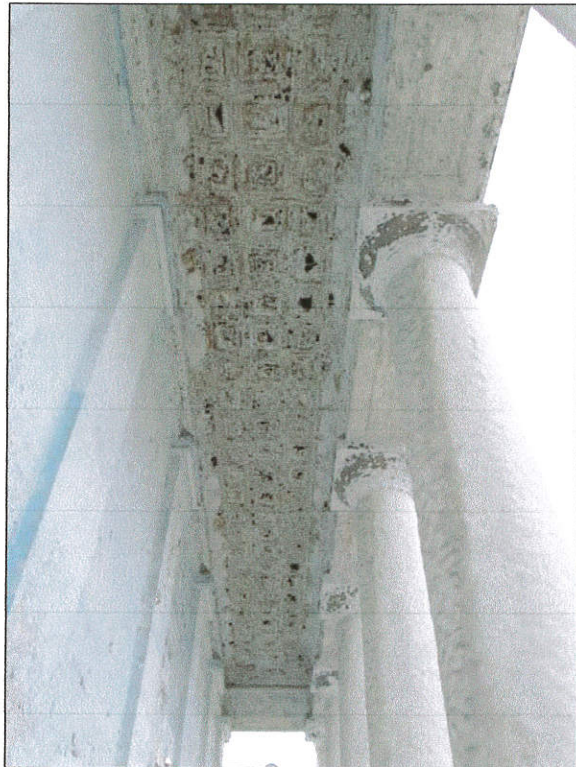


Missing Stucco, Downspout and Peeling Paint





Wood Clad Stone Front Stairs



Portico Ceiling



Main Entry Door

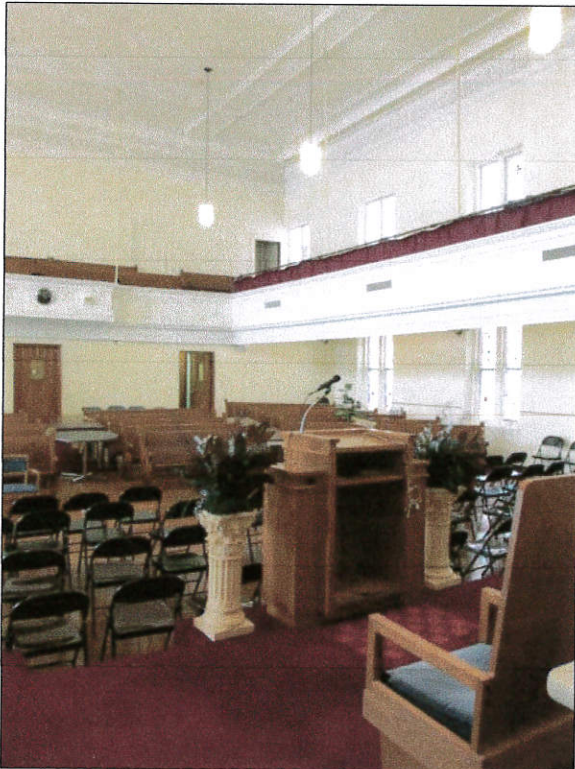




Narthex



East Nave View

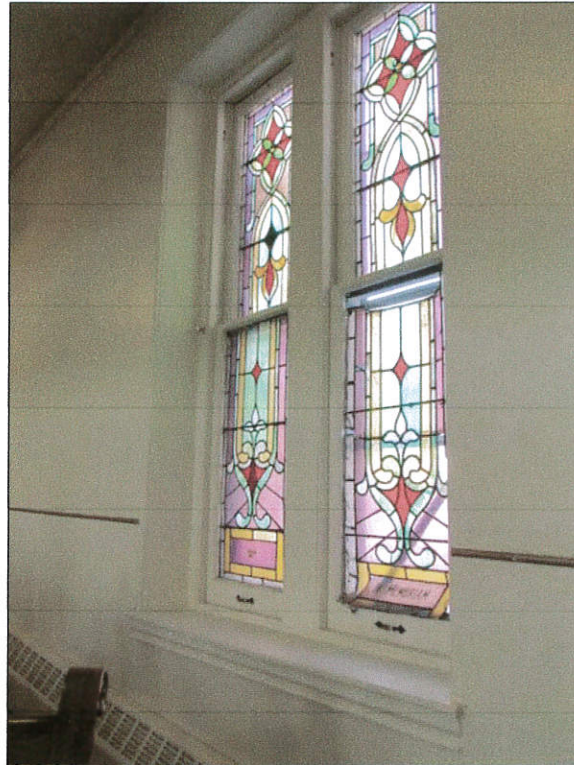


West Nave/Ambo View





Sloped Ceiling under Balcony



Stained Glass Double Hung Window

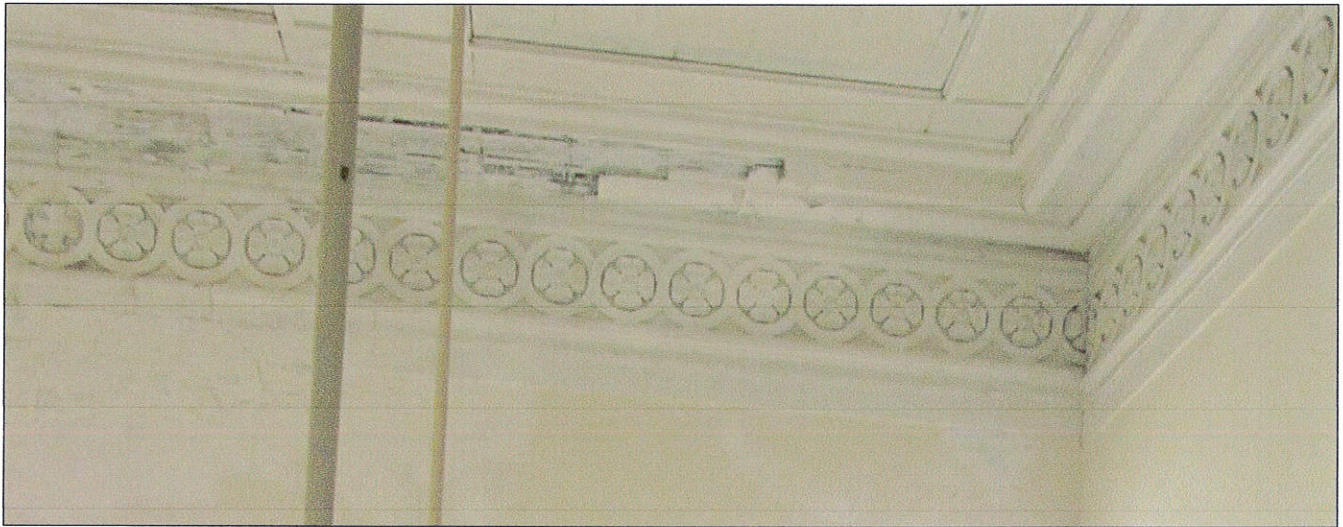


Ramp at Southerly Entry

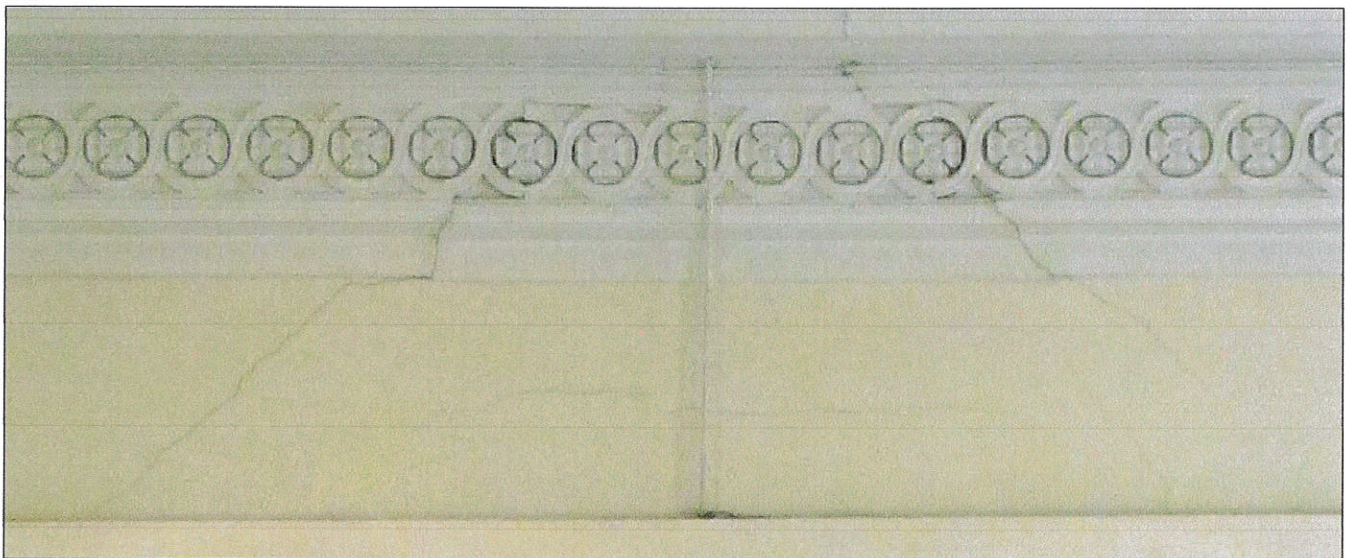




Nave/Balcony Entablature

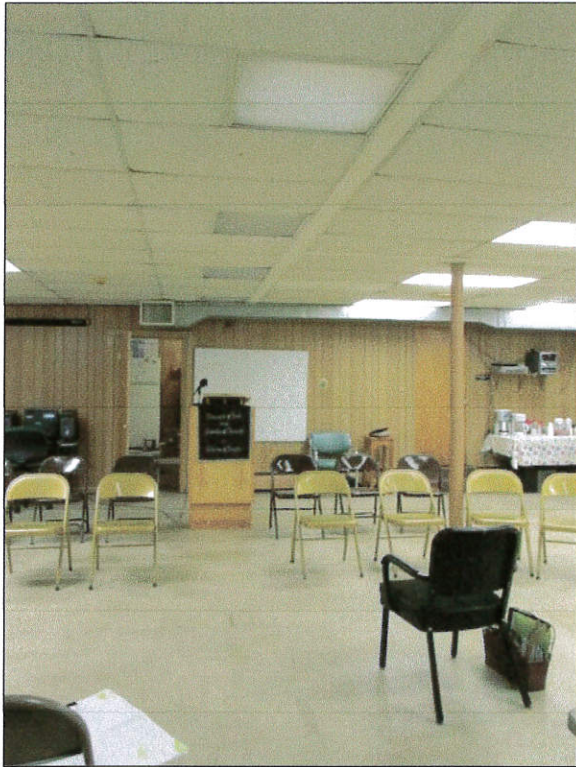


Nave/Balcony Deteriorated Entablature



Crack in wall over Ambo





Lower Level Fellowship Hall



Kitchen

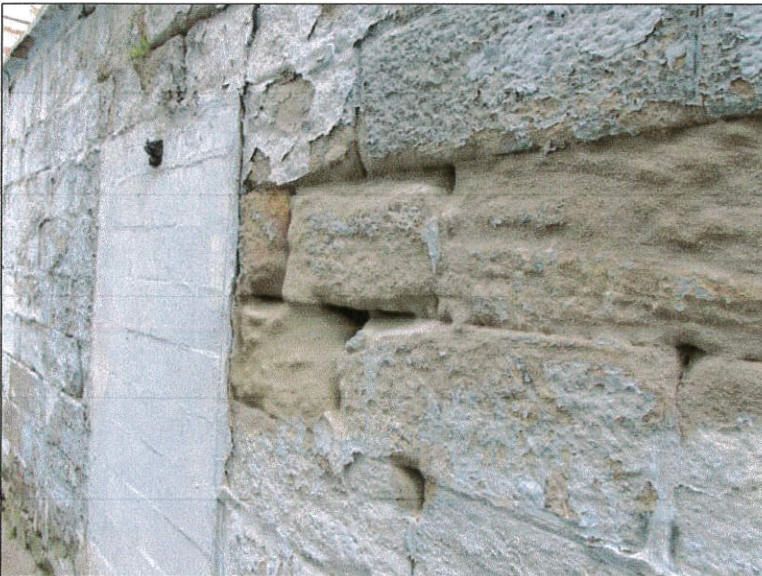


Lower Level Toilet Room





HC Ramp



Eroded Sandstone



Failed Retaining Wall





Attic Trusses



North Eave from Attic



Attic Access



# **BUILDING STRUCTURAL REPORT**

---

**Please note, Wheeling Heritage has since completed a roof replacement including deck/rafter repair and insulation.**

# **CAS** **I Structural Engineering, Inc.**

*Providing Structural Engineering Solutions for Yesterday, Today and Tomorrow*

February 13, 2014

Mr. Jeremy S. Morris  
Executive Director  
Wheeling National Heritage Area  
1400 Main Street / PO Box 350  
Wheeling, WV 26003

Re: Church of God and Saints of Christ Structural Investigation and Observations  
Project No. 13034

Dear Mr. Morris:

Per your request, we performed a limited structural observation of the balcony and roof framing of the Church of God and Saints of Christ located at 1206 Byron Street in Wheeling, West Virginia. The building dates back to approximately 1837 and is currently in use today. There is a fellowship hall in the lower or basement level, the church functions in the main level, and a "U-shaped" balcony above the main level. Access to the attic is gained from the balcony. The balcony and roof framing are both wood framed, with the roof trusses being constructed of heavy timber components. The purpose of this report is to address the current condition of the roof trusses and balcony framing as well as to determine the loading capacity of the balcony and will be divided into sections related to Existing Conditions, Analysis and Recommendations. Photos and a sketch of the truss profile are included at the end of this letter report.

## EXISTING CONDITIONS

The exterior of the building is shown in Photo 1 and appears to consist of painted stucco over exterior brick masonry. The condition of the exterior is such that a number of repairs are needed and are addressed in a separate report prepared by SMG Architects, dated October 31, 2013. Existing conditions of the interior of the main floor and balcony are shown in Photos 2 through 5. As seen in Photos 6 and 7, the balcony is supported from the roof structure by iron suspension rods at several locations. Additionally, the balcony is sloped or raked, with built-in fixed risers (see Photos 8 and 9).

The roof trusses are spaced at approximately 9'-4" on center and consist of heavy timber framing members. As noted previously, a sketch of the basic truss profile is located at the end of this letter report. The profile shows the general configuration of the truss and the approximate location of the suspension rods for the balcony support. The framing and trusses are shown in Photos 10 through 20. The roof rafters are spaced at 24-inches on center and are supported by heavy timber purlins that span between the trusses (Photo 10). There are some diagonal braces between the trusses for lateral support of the trusses (Photo 11). In a few locations, there is evidence of some minimal movement of members. This is seen in Photo 13 where the diagonal member appears to have shifted where it is in contact with the top of the truss or top chord. There are also heavy timber members that are basically laying on the bottom chord that support the suspended rods for the balcony. These can be seen in Photos 13 through 15 and the suspension rod anchorage is seen in Photo 16. There does not appear to be any mechanical connection between the members supporting the suspension rods and the timber trusses. Photo 17 shows a cracked

P.O. Box 469

Alum Creek, WV 25003-0469

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(304) 756-2565 (fax)

A West Virginia Certified DBE Consultant  
Certified in the Practice of Structural Engineering



or checked vertical timber post and Photo 18 shows a roof rafter that has lifted up from the support beam or purlin. A crack in the top chord at a support notch is shown in Photo 19. The deterioration of the framing at the north eave is shown in Photo 20.

The side face of the balcony again showing the suspension rods is shown in Photo 21 and the bottom sloped ceiling of the balcony can be seen in Photo 22. The 1-1/2 inch diameter suspension rod at the location where it goes through the balcony framing is seen in Photo 23 and a portion of the sloped balcony framing is shown in Photo 24. The back of the balcony has four (4) suspension rods. Two of these appear to continue up to the top chord of the truss.

There is a wide opening at the front of the church at the ambo, seen in Photo 25. The plaster above the opening is cracked in an inverted "V", as seen in Photo 26. The support for the brick masonry above this opening is not known and appears that it may not be adequate as this cracking is in line with typical arching action of brick, where the masonry below the inverted "V" is subject to becoming dislodged without proper support.

Exterior conditions can be seen in Photos 27 through 36 and are related to the conditions of the existing stone retaining wall along the north elevation and the cheek walls on both sides of the main entrance stairs. As can be seen in the photos, there appear to be structural issues related to the stone retaining wall. It is our understanding that there were some water problems which led to the reconstruction of the sidewalk along the north side of the building. The retaining wall appears to be leaning toward the building and the structural adequacy of the wall and foundation is not known at this time. The cheek walls at both the north-west and south-west corners of the main entrance stairs show evidence of deterioration with open mortar joints, cracking and rotation of the south cheek wall.

#### ANALYSIS

We completed a limited structural analysis of the roof trusses, purlins and rafters and the balcony floor joists. The analysis was completed in accordance with the 2012 International Building Code and 2012 Existing Building Code using the following loads:

Roof Framing	30 psf Live Load (snow) 2.5 psf Dead Load (decking) 4 psf Dead Load (shingles) 0.5 psf Dead Load (roofing felt) 8 psf Dead Load (ceiling plaster) 2 psf Dead Load (blown-in insulation)
Balcony Framing:	60 psf Live Load (balcony) 4 psf Dead Load (T&G decking) 3 psf Dead Load (additional wood framing) 8 psf Dead Load (plaster ceiling below balcony)

These loads are in addition to the structural member dead loads.

The analysis results indicate that the roof rafters and purlins can adequately support the anticipated loads. **The heavy timber trusses are overstressed, but additional support to two (2) of the diagonal web members can be easily provided by attaching new 2x4's as indicated in the attached Basic Truss Profile sketch. Without these new members, these diagonal web members are severely overstressed.** The ends of the top chords appear to be overstressed up to approximately 15%. It should be noted that the exact species of wood that was used in the heavy timber trusses was not investigated and some of the dimensions used in the analysis were approximated. Additional analysis could be completed

to determine if the top chord overstress is actually a concern. The truss that supports the back of the balcony with the four (4) suspension rods was not analyzed at this time. Only typical truss loading cases were analyzed. **There is serious deterioration at the ends of the trusses at the eaves that will require repairs.**

The balcony framing consists of 2x10 joists spaced at 16-inch centers. The joists are sloped with tapered portions of 2x's sitting on top to create the fixed riser configuration seen in the photos. Some of the joists are deeply notched at the bearing end where they are pocketed into the exterior brick wall. While the notches exceed current code allowable depths, the shear and bending capacity of the members appears to be adequate for the anticipated loads. If cracks are observed at the notches they should be reinforced. The size and configuration of the outermost structural beam member that is supported by the suspension rods could not be determined without removing finish materials. Therefore, the adequacy of that element could not be analyzed.

**As noted in the Existing Conditions section of this letter report, the support of the brick masonry over the opening at the front of the church is not known. The cracking that is apparent is a structural concern and additional investigation is warranted to be able to complete the analysis and develop a repair solution.**

No structural analysis was completed on the main entrance stair cheek walls at this time.

#### RECOMMENDATIONS FOR REPAIRS

Recommendations for repairs to several structural elements are listed below. Please refer to the report prepared by SMG Architects for additional repairs to the building.

- Add new 2x4 horizontal bracing members to the heavy timber trusses as indicated in the Basic Truss Profile sketch. This occurs in two (2) locations and should continue from truss to truss and be attached to the brick gable end wall.
- Repair the ends of the trusses at the eaves where the members are deteriorated. Depending on the level of deterioration, repairs can consist of epoxy wood repair materials, sistering with additional wood framing or replacement of the member.
- Mechanically attach web members to chord members where they have shifted.
- Splice truss members where cracked or checked.
- Attach rafters to purlins/beams where they are lifted or separated.
- Investigate the structural support for the brick masonry at the opening at the front of the church.
- Reinforce notches of any balcony floor joists that are cracked.
- Repair opening mortar joints and cracked masonry at the cheek walls at the main entrance stairs. Additional investigation of the south-west cheek wall and foundation is appropriate due to the rotation of this element.
- Repair or reconstruct the stone retaining wall along the north elevation of the building adjacent to the sidewalk.

If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

**CAS Structural Engineering, Inc.**

*Carol A. Stevens*

Carol A. Stevens, P.E., F.ASCE, SECB  
President







Photo 1. View of Front Entrance of Church



Photo 2. View from the Balcony



Photo 3. View from the Balcony showing Suspension Rods



Photo 4. Additional View from the Balcony



Photo 5. View of the Balcony from Main Floor Level



Photo 6. Balcony Suspension Rods coming through the Ceiling

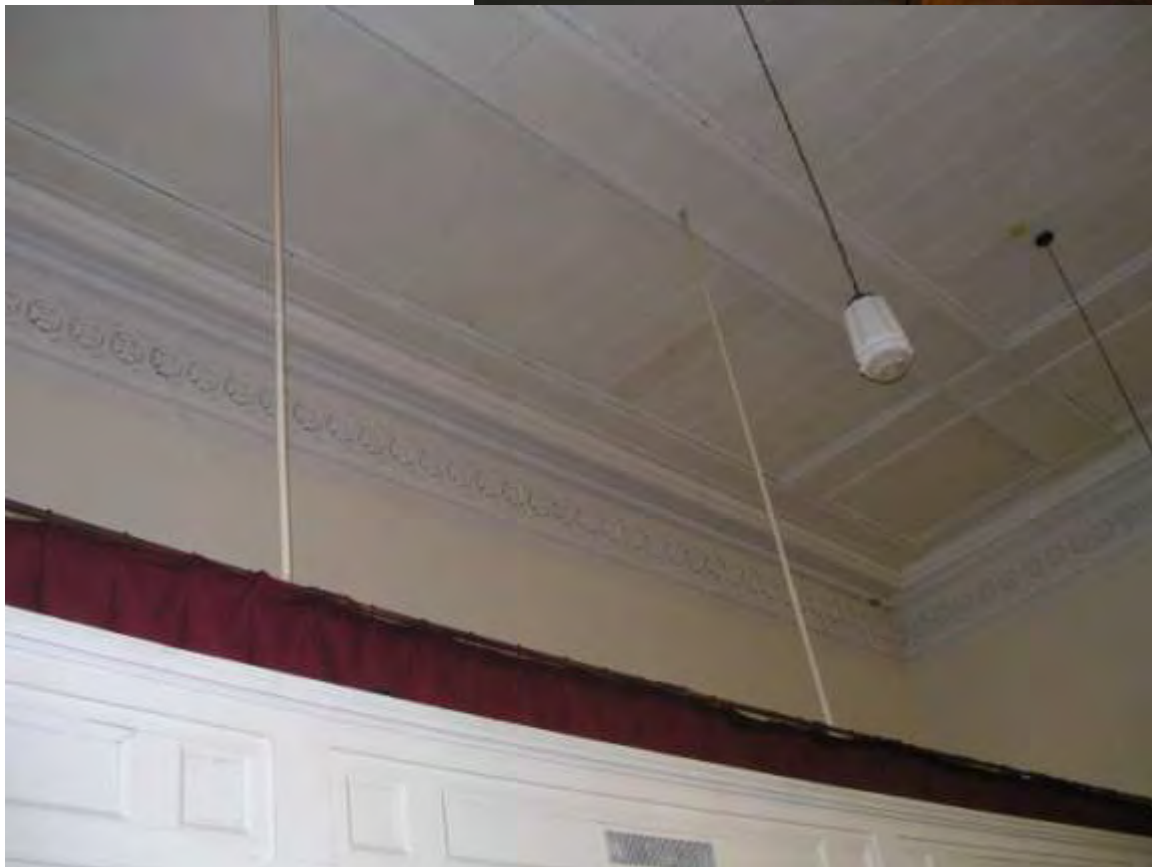




Photo 7. Another View Showing the Balcony Suspension Rods coming through the Ceiling

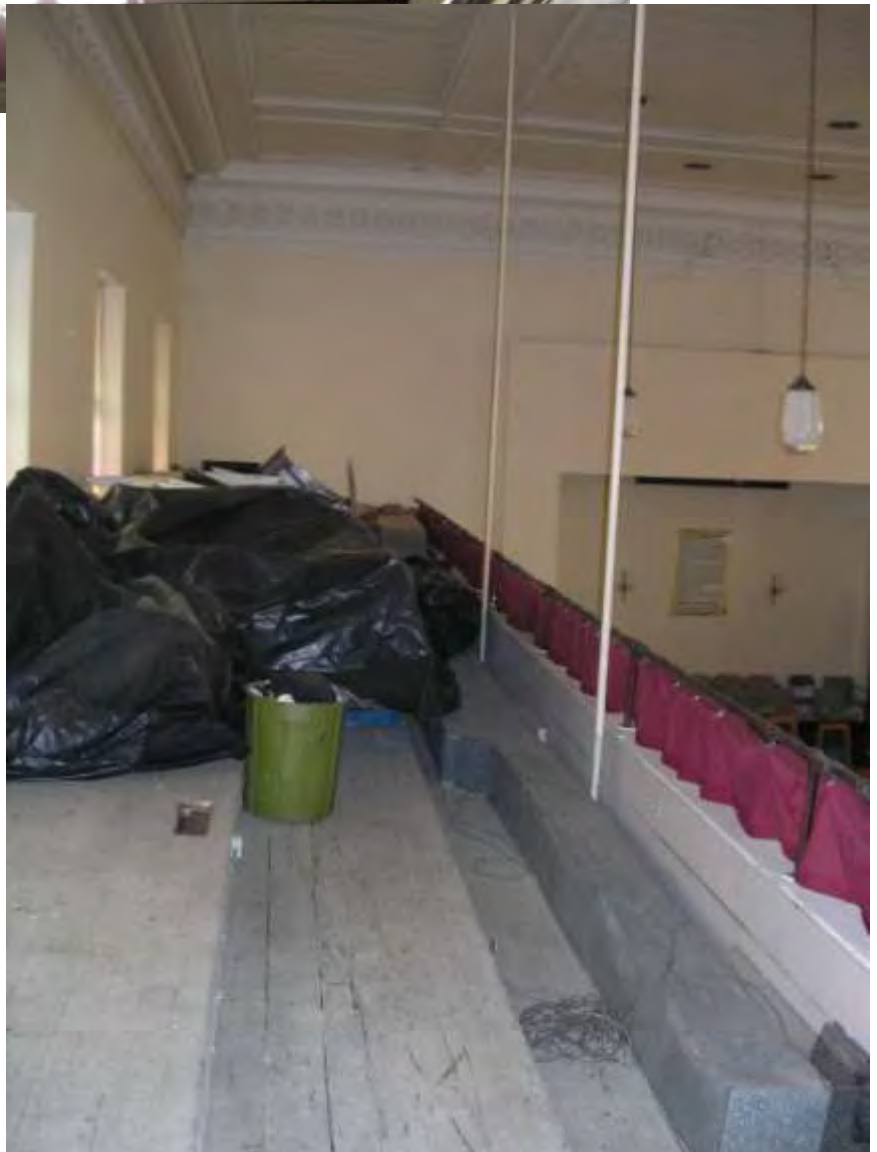


Photo 8. Balcony with Built-in Risers





Photo 9. View of Balcony along Rear of Church



Photo 10. Timber Roof Framing Members



Photo 11. View of Roof Truss Framing and Cross Bracing in Attic



Photo 12. View of Heavy Timber Roof Truss





Photo 13. Another View of Roof Trusses



Photo 14. Heavy Timbers at Bottom of  
Roof Truss Support Suspended Balcony  
Below



Photo 15. Another view of Roof Trusses Showing Supports for Suspended Balcony



Photo 16. Balcony Suspension Rod Anchorage





Photo 17. Cracking/Checking in Vertical Timber Post



Photo 18. Roof Rafter Lifted Up From Support Beam



Photo 19. Cracking at Support Notch at Top Chord of Roof Truss



Photo 20. Deterioration of Framing at North Eave





Photo 21. Suspension Rods Supporting Balcony



Photo 22. Sloped Ceiling below Balcony Showing Suspension Rod Support Locations



Photo 23. Suspension Rod through  
Balcony Framing



Photo 24. Flooring and Framing at  
Balcony





Photo 25. View of Altar/Ambo Area at Front of Church



Photo 26. Cracks Above Opening at Front of Church



Photo 27. View of Retaining Wall along North Elevation of Building



Photo 28. View Along North Elevation of Building Showing Street and Sidewalk





Photo 29. Steps Leading to Main Entrance on West Elevation



Photo 30. Cheek Wall at North-West Corner of Steps Showing Open Joints



Photo 31. Inside Face of Cheek Wall at North-West Corner of Steps



Photo 32. End of Cheek Wall at North-West Corner of Steps





Photo 33. Inside Face of Cheek Wall at South-West Corner of Steps

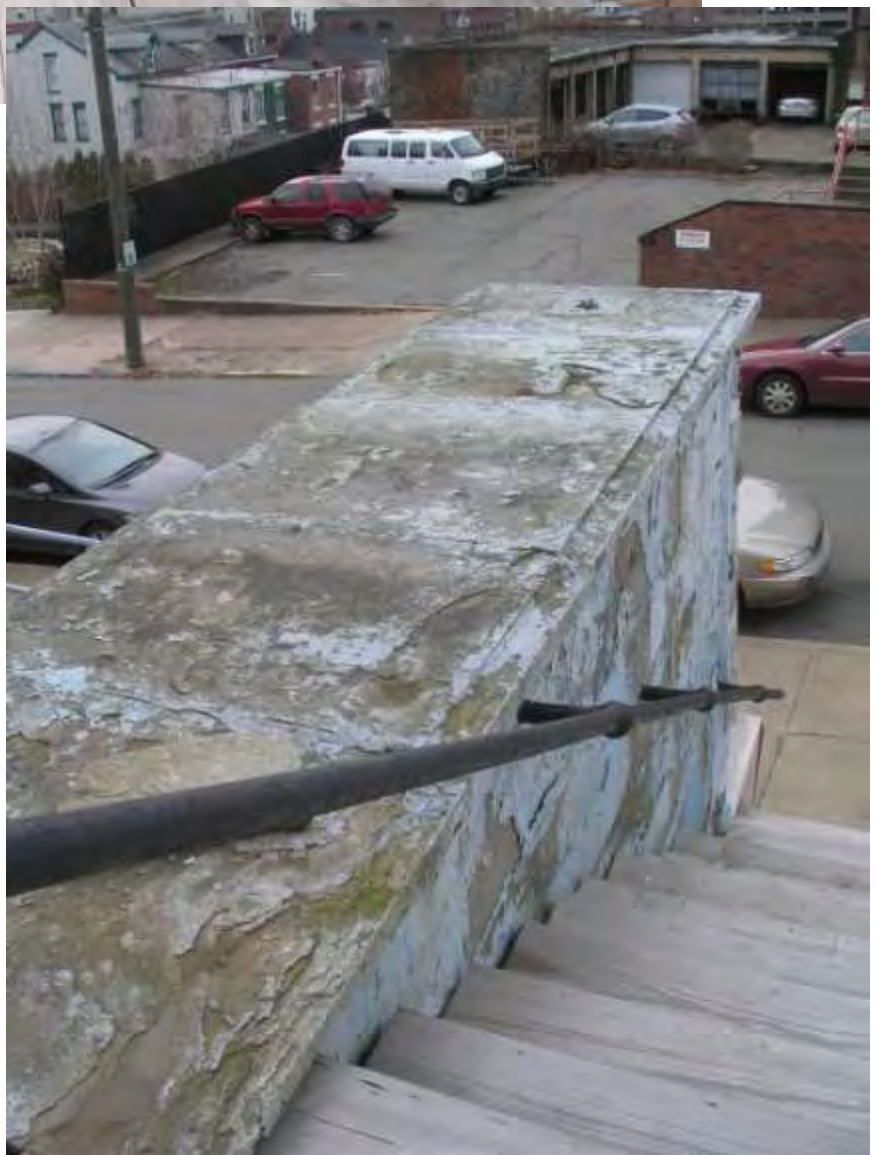


Photo 34. Top View of Cheek Wall at South-West Corner of Steps

Photo 35. Outside View of Cheek Wall at South-West Corner of Steps



Photo 36. End View of Cheek Wall at South-West Corner of Steps Showing Wall Movement to the Outside





NOTES: TRUSS PROFILE IS REPRESENTATIVE OF EXISTING CONDITIONS.  
TRUSSES ARE SPACED 9'-4" ON CENTER.

**CAS**  
**I Structural Engineering, Inc.**  
STRUCTURAL DESIGN / COMMERCIAL / INDUSTRIAL / GOVERNMENTAL

CAS STRUCTURAL ENGINEERING INC.  
P.O. BOX 469  
ALUM CREEK, WEST VIRGINIA 25009-0469

VOICE: 304-756-2564  
FAX: 304-756-2565  
EMAIL: CALALANE@AOL.COM



# **PROPERTY COVENANT**

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The covenant is made the 1 day of Sept., 2015, by

Monroe Street Revival LLC

Hereafter referred to as the "Owner") and in favor of the State of West Virginia through the Historic Preservation Office of the Division of Culture and History (hereafter referred to as the "Grantee") for the purpose of the rehabilitation

of a certain property known as The Blue Church

located at Wheeling, Ohio County

West Virginia, which is owned in fee simple by the Owner and is listed in the National Register of Historic Places. The Property is comprised essentially of grounds, collateral, appurtenances, and improvements and is known as the The Blue Church

In consideration of the sum of \$33,694.00 received in grant-in-aid assistance through the State of West Virginia from the West Virginia Legislature, the owner hereby agrees to the following for a period of 15 years:

- 1) The Owner and any successor in interest shall assume the cost of the continued maintenance and repair of said Property so as to preserve the architectural, historical, or archaeological integrity of the same in order to protect and enhance those qualities that made the Property eligible for listing in the National Register of Historic Places. Nothing in this Covenant shall prohibit the Owner from seeking financial assistance from any source available to him.
- 2) The Owner agrees that no visual or structural alterations will be made to the Property without prior written permission of the State Historic Preservation Officer.
- 3) The Owner agrees that the State Historic Preservation Officer, his agents and designees shall have the right to inspect the Property at all reasonable times in order to ascertain whether or not the conditions of the agreement are being observed.

- 4) Monroe Street Revival LLC agrees to comply with Title VI of the Civil Rights Act of 1964 [42 USC 2000 (d)] and Section 504 of Rehabilitation Act of 1973 [29 USC Section 794]. These laws prohibit discrimination on the basis of race, religion, national origin, or handicap. In implementing public access, reasonable accommodation to qualified handicapped persons shall be made in consultation with the State Historic Preservation Office Staff Architect.

This covenant shall encumber the title to the Property and be enforceable in specific performance by a court of competent jurisdiction.

In the event of the nonperformance or violation of any duties of the property owners, successors, heir or assigns, under this covenant, including public access, the State of West Virginia is expected to sue for money damages or to enjoin such violation or to require the owner to restore the site, building structure or improvements thereon to the existing at the time of project completion. The property owner will not be liable for money greater than the amount of historic preservation grants funds.

If an historic preservation grant funded property is damaged or destroyed by accidental, natural, or deliberate causes, the grantee will inform the Keeper of the National Register of Historic Places in writing of the damage to this property stating: 1. The nature of the damage; 2. The possibility of restoration or reconstruction; and 3. Whether the loss was caused by negligence on the part of the owner. The State of West Virginia will recommend to the National Park Service whether or not legal action should be taken to recover funds. The National Park Service will then inform the State of West Virginia in writing if legal action should be instituted by the State. Action shall be limited to the restoration of the property or the total amount of the Federal assistance given to the owner for use on the property.



If the property has been destroyed to the degree that restoration or reconstruction is economically infeasible and the National Park Service has given the State of West Virginia notice that no legal action is necessary, the grantee will notify the Keeper of the National Register of Historic Places in writing of the extent of damage to the property and the loss of the architectural, historical, or cultural significance that has resulted from the damage. The Keeper may decide to remove the property from the listing in the National Register of Historic Places. If the decision is made to remove the property from the National Register, then the conditions of this covenant may be considered void from the date the property is removed from the National Register.

Susan M Pierce  
DEPUTY STATE HISTORIC PRESERVATION OFFICER

DATE 7/24/15

STATE OF WEST VIRGINIA

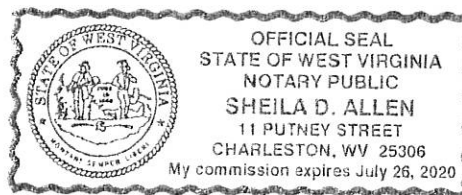
COUNTY OF Ramoth: TO-WIT

I, Sheila D Allen, a Notary Public in and for said County and State,  
do certify that Susan M Pierce, whose name is signed to the writing  
hereto annexed, bearing date the 24<sup>th</sup> day of July, 2015, has this day  
acknowledged the same before me in my said County, to be his act and deed.

Given under my hand this 24<sup>th</sup> day of July, 2015.

My Commission expires July 26, 2020

Sheila D Allen  
NOTARY PUBLIC



Prepared by WV State Historic Preservation Office



Property Owner

Monroe Street Revival - Director

Date

9-1-2015

STATE OF WEST VIRGINIA

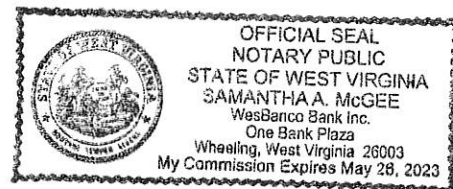
COUNTY OF Ohio : TO-WIT

I, Samantha A. McGee, a Notary Public in and for said County and State, do  
 certify that Jeremy S. Morris, whose name is signed to the writing  
 hereto annexed, bearing the 01 day of September, 20 15, has this day  
 acknowledged the same before me in my said County, to be his act and deed.

Given under my hand this 01 day of September, 20 15.

My commission expires May 26, 2023.

Samantha A. McGee  
 NOTARY PUBLIC



STATE OF WEST VIRGINIA

COUNTY OF \_\_\_\_\_ : TO-WIT

I, \_\_\_\_\_, the County Clerk in and for said County and State,  
 do certify that this Covenant has been recorded.

This \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

My term of office expires \_\_\_\_\_.

Patricia A Fahey  
 OHIO County 11:32:16 AM  
 Instrument No 19600747  
 Date Recorded 09/01/2015  
 Document Type DEED  
 Pages Recorded 5  
 Book-Page 895-257  
 Recording Fee \$11.00  
 Additional \$5.00

\_\_\_\_\_  
 COUNTY CLERK



## 4 INCENTIVE POTENTIAL



# NEW MARKET TAX CREDITS (NMTC)

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# NEW MARKETS TAX CREDITS (NMTC)



The

## NMTC

Program is dedicated to  
increasing economic  
opportunity in  
distressed communities  
across the U.S.

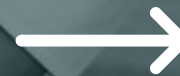


# NEW MARKET TAX CREDITS (NMTC)

A proven tool for generating opportunity in low-income communities (LICs)



**Community  
Development  
Entity  
(CDE)**



**Private  
Investor**

# NMTC

---



**NMTCs** provide a credit against Federal income taxes for investors (typically banks) that make **Qualified Equity Investments** (QEIs) in certified financial intermediaries called **Community Development Entities** (CDEs)

## Tax Credit Amount

- The New Markets Tax Credit is taken over a 7-year period
- The credit rate is:
  - 5% of the original investment amount in each of the first three years
  - 6% of the original investment amount in each of the final four years
- Total credit equals 39% of the original amount invested in the CDE





# NMTC

---

As a potential **\$3.16MM** redevelopment, the Property could theoretically attract up to **\$3MM** in NMTC allocation

## The Blue Church – NMTC Potential

- Assuming a **\$3MM** NMTC allocation, the total benefit to the project would be **\$539,200**
- NMTCs act as gap financing which makes a project more economically attractive in underserved markets



# HISTORIC TAX CREDITS (HTC)

---





# HISTORIC TAX CREDITS (HTC)

## HTC

programs exist in both  
the federal level and the  
state level

## Federal HTC

- Federal HTCs are an indirect subsidy to finance up to 20% of Qualified Rehabilitation Expenses (QREs)

Since it began in 1976,  
federal HTCs has  
preserved more than  
45,000 buildings\*

Federal HTCs have  
generated over  
\$102BB in estimated  
rehabilitation  
investment\*

# HISTORIC TAX CREDITS (HTC)

---

## HTC

programs exist in both  
the federal level and the  
state level

## State HTC

- In addition to the federal income tax credit, a similar **25%** state income tax credit is available to owners. The total credit on a qualified project is **45%** of approved rehabilitation costs.



# **HISTORIC TAX CREDITS (HTC)**

---

The Blue Church has been on the National Register of Historic Places since 1979 and remains one of the City's most impressive and significant historic properties

## **The Blue Church – HTC Potential**

- QREs are roughly estimated at **\$2.9MM** for an **\$3.16MM** development
- Assuming an **\$3.16MM** project with **\$2.9MM** in QREs and Federal and State pricing of \$0.85 for federal tax credits and \$0.88 for state tax credits, total equity could be **\$1.13MM** (\$488,608 in Federal HTCs and \$638,703 in State HTCs)



## 5 FINANCIAL MODEL



## Summaries

### Return Summary

Investor IRR	<b>18.24%</b>
--------------	---------------

### Sources of Funds Summary

<b>Estimated Project Cost</b>	<b>\$3,159,448</b>
Sponsor Equity	\$75,000
Deferred Developer Fee	\$150,000
Senior Loan	\$1,267,937
Federal HTC Equity	\$488,608
State HTC Equity	\$638,703
NMTC Equity	\$539,200
<b>TOTAL SOURCES</b>	<b>\$3,159,448</b>

# MODEL\*

## Sources & Uses

SOURCES		
Item	\$	Cum. %
Senior Loan	\$1,267,937	40.1%
<b>TOTAL DEBT</b>	<b>\$1,267,937</b>	<b>40.1%</b>
Sponsor Equity	\$75,000	2.4%
Deferred Developer Fee	\$150,000	4.7%
<b>TOTAL SPONSOR EQUITY</b>	<b>\$225,000</b>	<b>7.1%</b>
Federal HTC Equity	\$488,608	15.5%
State HTC Equity	\$638,703	20.2%
<b>TOTAL HTC EQUITY</b>	<b>\$1,127,311</b>	<b>35.7%</b>
NMTC Equity	\$539,200	17.1%
<b>TOTAL</b>	<b>\$3,159,448</b>	<b>100%</b>

USES		
Item	\$	%
Property Purchase	\$40,000	<b>1.3%</b>
Construction Hard Costs	\$2,344,500	<b>74.2%</b>
Construction Soft Costs	\$73,445	<b>2.3%</b>
FF&E	\$39,075	<b>1.2%</b>
Closing Costs	\$290,853	<b>9.2%</b>
FM & Bridge Interest Res.	\$100,678	<b>3.2%</b>
Contingency	\$120,897	<b>3.8%</b>
Developer Fee	\$150,000	<b>4.7%</b>
<b>TOTAL</b>	<b>\$3,159,448</b>	<b>100%</b>



# THANK YOU!



Nancy Prager



[nprager@wheelingwv.gov](mailto:nprager@wheelingwv.gov)



Betsy Sweeny



[bsweeny@wheelingheritage.org](mailto:bsweeny@wheelingheritage.org)



Doug Rasmussen



[doug@steadfastcity.com](mailto:doug@steadfastcity.com)

Steadfast city  
Economic & Community Partners